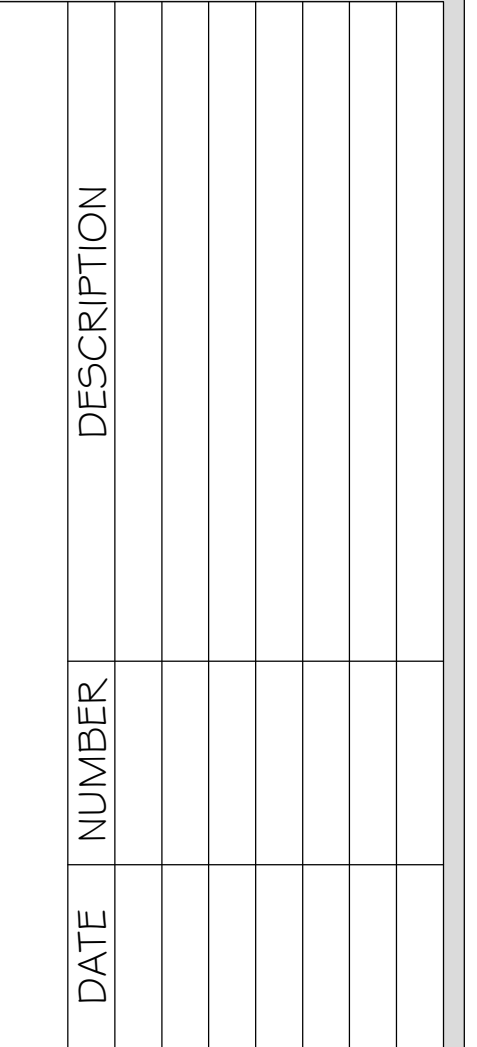


	Project Name :- New Medical Office			
	Required Date :-			
S.No.	Subject	Quantity	Unit	Remarks
1	Air and Vapor Barrier			
	Air and vapor barrier at soffit	1173	SQFT	
	Air & Vapor barrier at ext Sheathing walls - Area @ EIFS (14)	7,293	SQFT	
	Air & Vapor barrier at ext Sheathing walls - Area @ Masonry (5)	2,221	SQFT	
	Transition membrane Flashing at corners of the exterior wall - LF (20)	470	LFT	
	Transition membrane Flashing at the base of the exterior wall - LF (6)	337	LFT	
	Transition membrane Flashing at openings in the exterior walls - LF (49)	957	LFT	
		490	LFT	
2	Exterior Building Sealants			
	Sealant at EIFS to EIFS CJ - LF (135)	1,087	LFT	Sealant Assumed
	Sealant at EIFS to Masonry Veneer CJ - LF (5)	17	LFT	
	Sealant at exterior HM door frame -to- exterior veneer joints - LF (5)	177	LFT	
	Sealant at exterior masonry -to- exterior masonry Expansion Joint - LF (11)	212	LFT	
	Sealant at exterior parapet cap -to- exterior veneer joints - LF (3)	439	LFT	
	Sealant at exterior veneer -to- exterior soffit joints - LF (9)	112	LFT	
3	Interior Building Sealants/Caulking			
	Sealant at interior slab -to- interior slab Control joints - LF (40)	1,217	LFT	
	Sealant at interior slab -to- interior slab Isolation Joints - LF (37)	145	LFT	
	Caulking at Interior Door Frame to wall Joints - EA (60)	2040	LFT	
	Caulking at Plumbing Fixtures - EA (24)	24	EA	
4	Site Sealant			
	Sealant at sidewalk -to- sidewalk Expansion joints - LF @ 20' OC (17)	135	LFT	Per 3/C4.0
	Sealant at site concrete -to- building Expansion Joints - LF (3)	175	LFT	
	Sealant at site curb -to- curb Expansion Joints - EA @ 75' OC (22)	55	LFT	
	Sealant at curb -to- sidewalk expansion joints - LF (3)	162	LFT	
5	Sheet Membrane Waterproofing			
	Sheet membrane waterproofing - Vertical Detail strip at corner - EA (19)	74	LFT	
	Sheet membrane waterproofing at below grade walls - LF (4)	396	SQFT	
	Sheet membrane waterproofing detail strip+ cants + termination bar - LF (2)	58	LFT	
	Sheet membrane waterproofing vertical cants at inside corners - EA (2)	10	LFT	
6	Crystalline Waterproofing			
	Crystalline waterproofing at Elevator pit slab - Area (2)	66	SQFT	
	Crystalline Waterproofing at Elevator pit walls - LF (4)	262	SQFT	
7	Waterproofing at Balcony			
	Balcony waterproofing Edge flashing - LF (1)	31	LFT	
	Balcony waterproofing cants at inside corner - LF	31	LFT	
	Waterproofing at Balcony (Schuter Bara Sysytem) - Area (1)	203	SQFT	
	New Caulking			
1	Caulking at bothsides of interior window/Storefronts - EA	24	LFT	Do not Double the qty
2	Caulking at Interior side of exterior window/Storefronts - LF	872	LFT	
3	Caulking at Fire Extinguisher Cabinate - EA	4	EA	This Might be required
4	Spray foam at window Jambs @ EIFS - LF	354	LFT	3/A600

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PROJECT:
Medical Office

lagerCo-LLC

Overlay Paving Plan

NOTICE TO CONTRACTOR:

THE CONTRACTOR SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

General Notes

1. Contractor and/or Developer shall notify the Jefferson County Department of Roads and Transportation (325-5232) at least 72 hours prior to any work being performed within the County R.O.W. or for any work that is to be inspected and approved by the County Roads and Transportation Department.
2. All existing and required county right-of-ways and easements are shown on the construction plans. Structures such as walls, signs, fences, buildings, etc. or plants such as trees or shrubs shall not be placed in the right-of-ways or easements without proper approval from Jefferson County.
3. Other than shown on approved plans, grading operations involving cutting or filling shall not be allowed within Jefferson County right-of-ways and easements.
4. The Owner or Developer shall provide the Contractor with executed permits for community identification signs, (if required) and landscaping, (if required) to be placed in Jefferson County right-of-ways or easements.
5. Utilities are shown on the drawings in an approximated location. The Contractor shall verify and mark all underground utilities prior to construction and use care in his operations to avoid rupturing lines which shall be repaired or relocated at the Contractor's expense. The Contractor shall contact all utilities prior to construction.
6. The Contractor shall be responsible for all construction layout. Benchmarks will be provided by the Engineer, if necessary.
7. The Contractor shall comply with all pertinent provisions of "THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" issued by the AGC of America, Inc. and the "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" issued by the U.S. Department of Labor.
8. In the event of any discrepancies and or errors found in the drawings, or if problems are encountered during construction, the Contractor shall be required to notify the Engineer before proceeding with the work. If the Engineer is not notified the Contractor shall take responsibility for the cost of any revision.
9. Individual property surveys have not been made on all tracts shown herein for the delineation of property lines.
10. All work inside of right-of-way shall be completed within strict accordance with Alabama Department of Transportation standard specifications for construction.

STANDARD NOTES

1. All Construction to be in accordance with Jefferson County Requirements and Specifications, with exception to the sanitary sewer.
All work involving the the sanitary sewer lines shall be in accordance with Southwest Water Company's Sewer requirements and specifications.
2. Contractor and/or developer shall be responsible for construction and maintenance of erosion and sedimentation controls during construction for protection of adjacent properties, roadways and highways.
3. Contractor and/or developer are responsible for providing a building site free of drainage problems.
4. Contractor and/or developer shall be responsible for maintaining a proper traffic control plan for public safety adjacent to construction site. The traffic control plan must be in accordance with the latest MUTCD edition.
5. All utilities within roadway shall be back filled with stone in accordance with Article 6 of the Jefferson County Subdivision and Construction Regulations.
6. In regard to the utility connections, possible relocations and other work proposed within the Jefferson County right-of-way, please have the Contractor that will perform the proposed construction within said right-of-way contact Terry Rich, Chief Utility Inspector of the Jefferson County Roads and Transportation Department, at 325-5128 for more information concerning the necessary permits and requirements for this construction. Notification of Mr. Rich is in ADDITION to the notification requirement for beginning work within the right-of-way as outlined in the pre-construction conference and/or the approval notes shown on the plan set for these improvements.
7. All drainage structures within an existing or proposed Jefferson County right-of-way shall be cast-in-place and meet or exceed ALDOT specifications. This comment does not apply to rights-of-way within a proposed subdivision.

NEW TYPE "A" STANDARD DUTY ASPHALT PAVING
(See Sheet 04 For Layout)



LEGEND

— 585	Existing Contours
650	Proposed Contour
— #	Existing Water Line
— 7	Existing Telephone Cable
— C	Existing Gas Line
⊗	Existing Water Valve
□	Existing Water Meter
⊕	Existing Power Pole
▣	Existing Telephone Pedestal
⊙	Existing Fire Hydrant
	— PROPOSED 1" OVERLAY ASPHALT PAVING



GENERAL NOTES

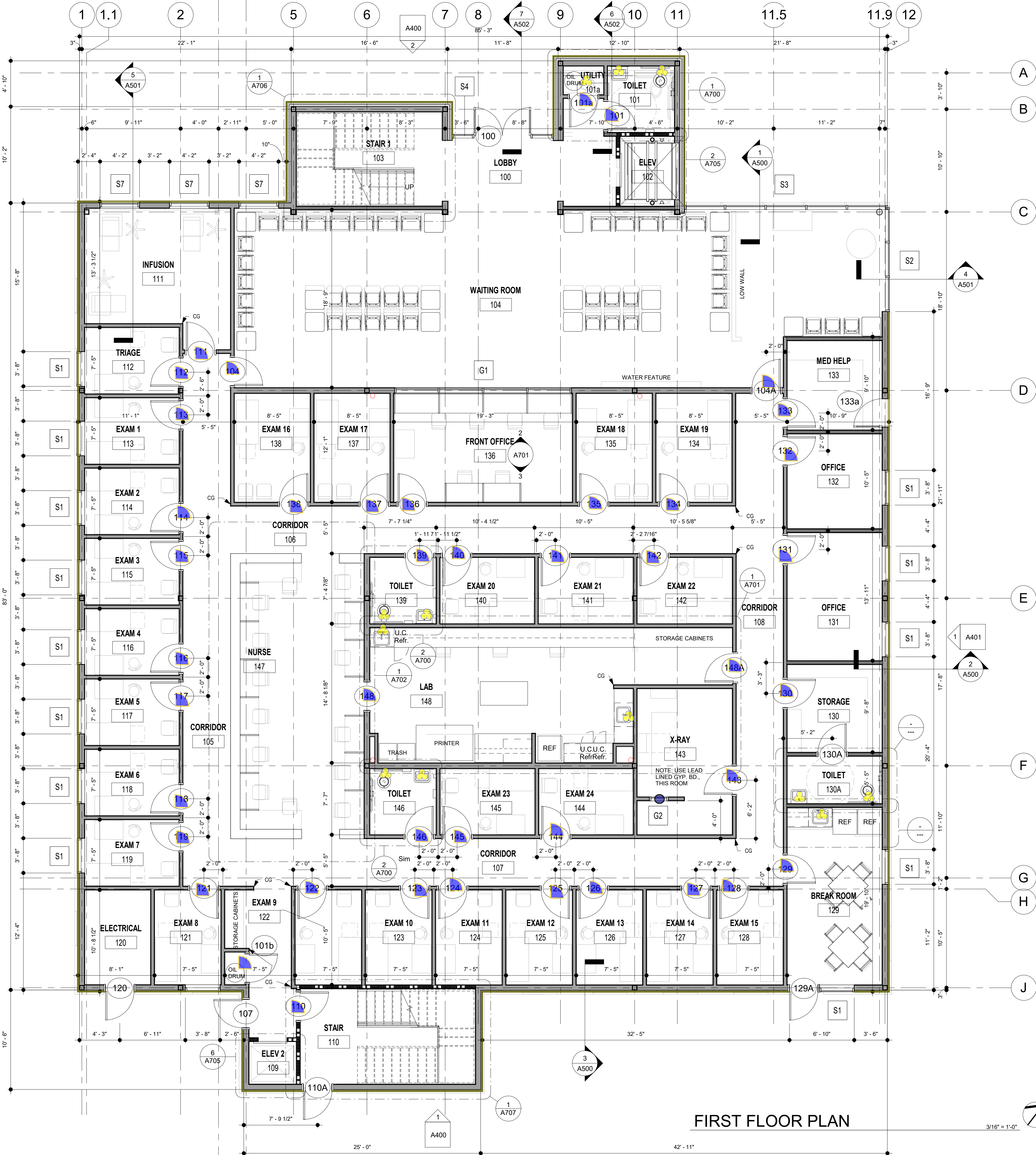
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. ALL OUTSIDE FACE OF EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK. ALL INSIDE FACE OF EXTERIOR WALL DIMENSIONS AND INTERIOR WALL DIMENSIONS ARE TO FACE OF GYP. BOARD.

LAB	450 SF	EXAM 17	92 SF
Subject	Length-FT	Area - Single	Area 1 CJ Length
Caulking at Interior Door Frame to wall Joints - EA	0	0	1,462
Sealant at Plumbing Fixtures - EA	0	0	0
Vapor Barrier Transition membrane at the base of the exterior wall - LF	337	0	0

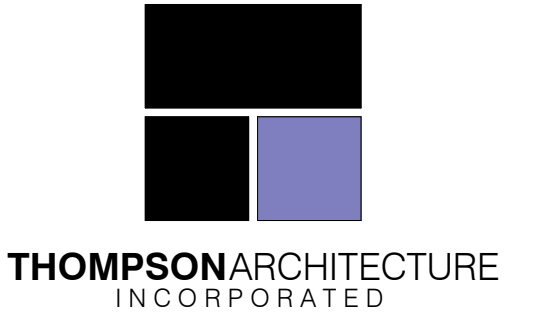
ELECTRICAL	70 SF	TOILET	49 SF
EXAM 8	70 SF	NURSE	367 SF
EXAM 9	70 SF	STAIR	186 SF
EXAM 10	70 SF	ELEV 2	23 SF
EXAM 11	70 SF	CORRIDOR	284 SF
EXAM 12	70 SF	TRIAGE	70 SF
EXAM 13	70 SF	CORRIDOR	269 SF
EXAM 14	70 SF	CORRIDOR	234 SF
EXAM 15	70 SF	CORRIDOR	385 SF
BREAK ROOM	188 SF	WAITING ROOM	1,220 SF
STORAGE	93 SF	STAIR 1	157 SF
OFFICE	136 SF	LOBBY	150 SF
OFFICE	100 SF	TOILET	49 SF
MED HELP	95 SF	ELEV	42 SF
EXAM 19	92 SF	TOILET	50 SF
EXAM 18	92 SF	UTILITY	13 SF
FRONT OFFICE	214 SF	TOTAL	7,064 SF

LEGEND

- INTERIOR PARTITION - 3 5/8" METAL STUDS W/ GYP BD. ON ONE SIDE. STUDS & GYP BD. SHALL EXTEND 6" ABOVE LAY-IN CEILINGS.
- TYPICAL INTERIOR PARTITION - 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" GYP BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND 4" ABOVE LAY-IN CEILINGS OR TO DECK IF NO CEILING.
- INTERIOR PARTITION - 6" METAL STUDS @ 16" O.C. W/ 5/8" GYP BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND 6" ABOVE LAY-IN CEILINGS OR TO DECK IF NO CEILING.
- RATED PARTITION - 6" METAL STUDS @ 16" O.C. W/ 5/8" GYP. BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND TO ROOF DECK. SEAL ALL PENETRATIONS.
- RATED PARTITION - 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" TYPE X GYP. BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND TO ROOF DECK. SEAL ALL PENETRATIONS.
- RATED SHAFT WALL
- 4" VAULT WALL TO BE PROVIDED BY OTHERS
- DOOR. SEE SHEET A300 - DOOR SCHEDULE.
- WINDOW. SEE SHEET A301 - WINDOW SCHEDULE.
- CORNER GUARD.



FIRST FLOOR PLAN



2913 Cahaba Road, Birmingham, AL 35223
Telephone 205 414 1272
e-mail: rthompson@thompsonarchitecture.com

PRICING SET:
11-12-20
NOT FOR
CONSTRUCTION

NEW MEDICAL OFFICE
FOR
DR. ILLESCAS
HOOVER, ALABAMA

Project #: 20013

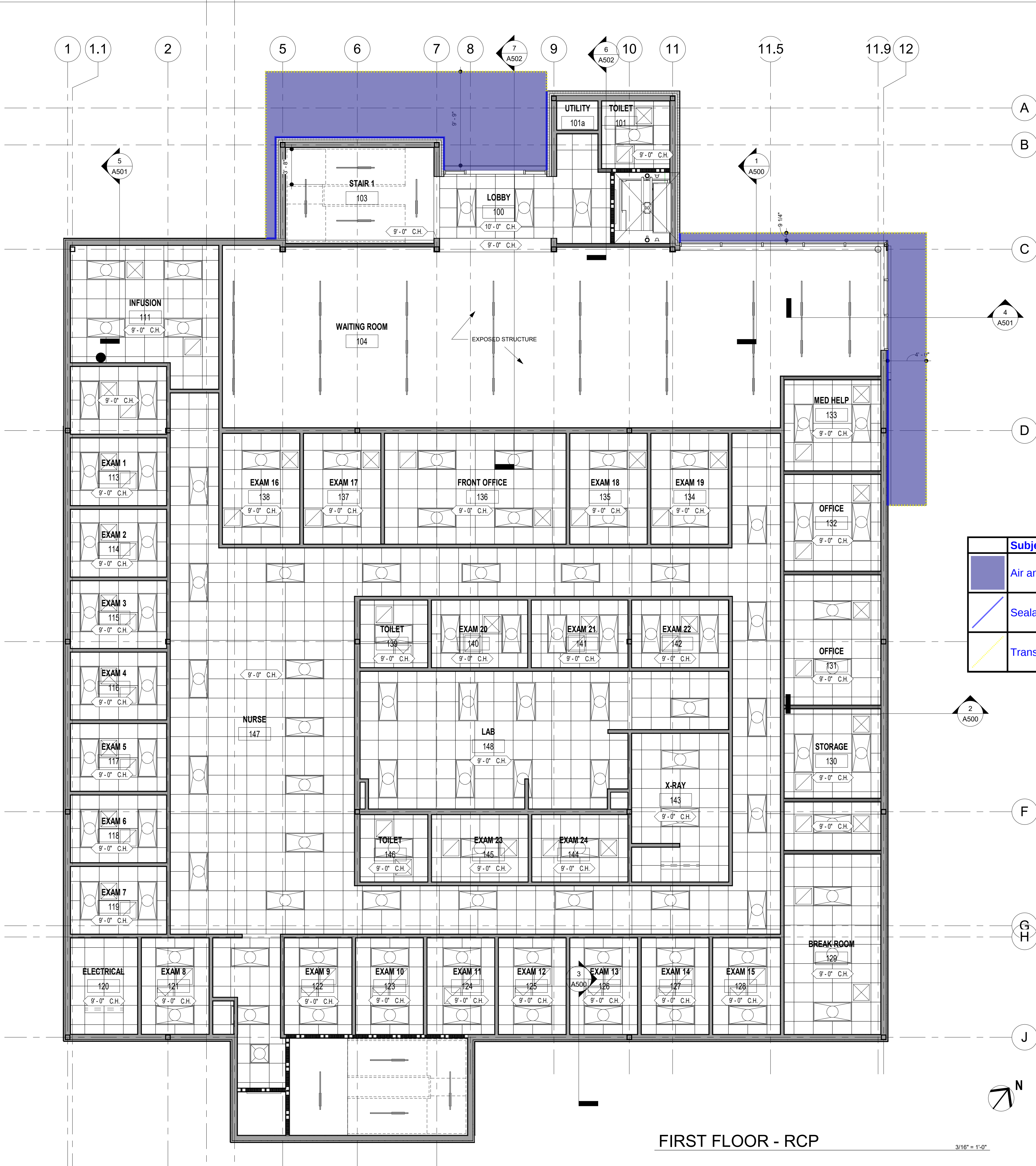
REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Name
**FIRST FLOOR
PLAN**

Scale
As indicated

Drawn By EC
Checked By RT

A201



LEGEND

2x2 ACOUSTICAL LAY-IN CEILING

GYP. BOARD CEILING ON METAL STUD FRAMING

RECESSED CAN LIGHT FIXTURE

2x4 LAY-IN LIGHT FIXTURE

4' SURFACE MOUNT STRIP LIGHT

HVAC SUPPLY REGISTER

HVAC RETURN AIR GRILLE

	Subject	Length-FT	Area - Single 1	Area 1	CJ Length
	Air and vapor barrier at soffit - Area	315	0	506	0
	Sealant at exterior veneer -to- exterior soffit joints - LF	57	0	0	0
	Transition membrane Flashing at corners of the exterior wall - LF	107	0	0	0

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CONSTRUCTION

NEW M

D R. I

HOOV

Project #:

20013

REVISIONS

NO.	DATE	DESCRIPTION

Drawing Name

FIRST FLOOR
PLAN - RCP

Scale

As indicated

Drawn By

EC

Checked By

RT

A202

FIRST FLOOR - RCP

3/16" = 1'-0"

GENERAL NOTES

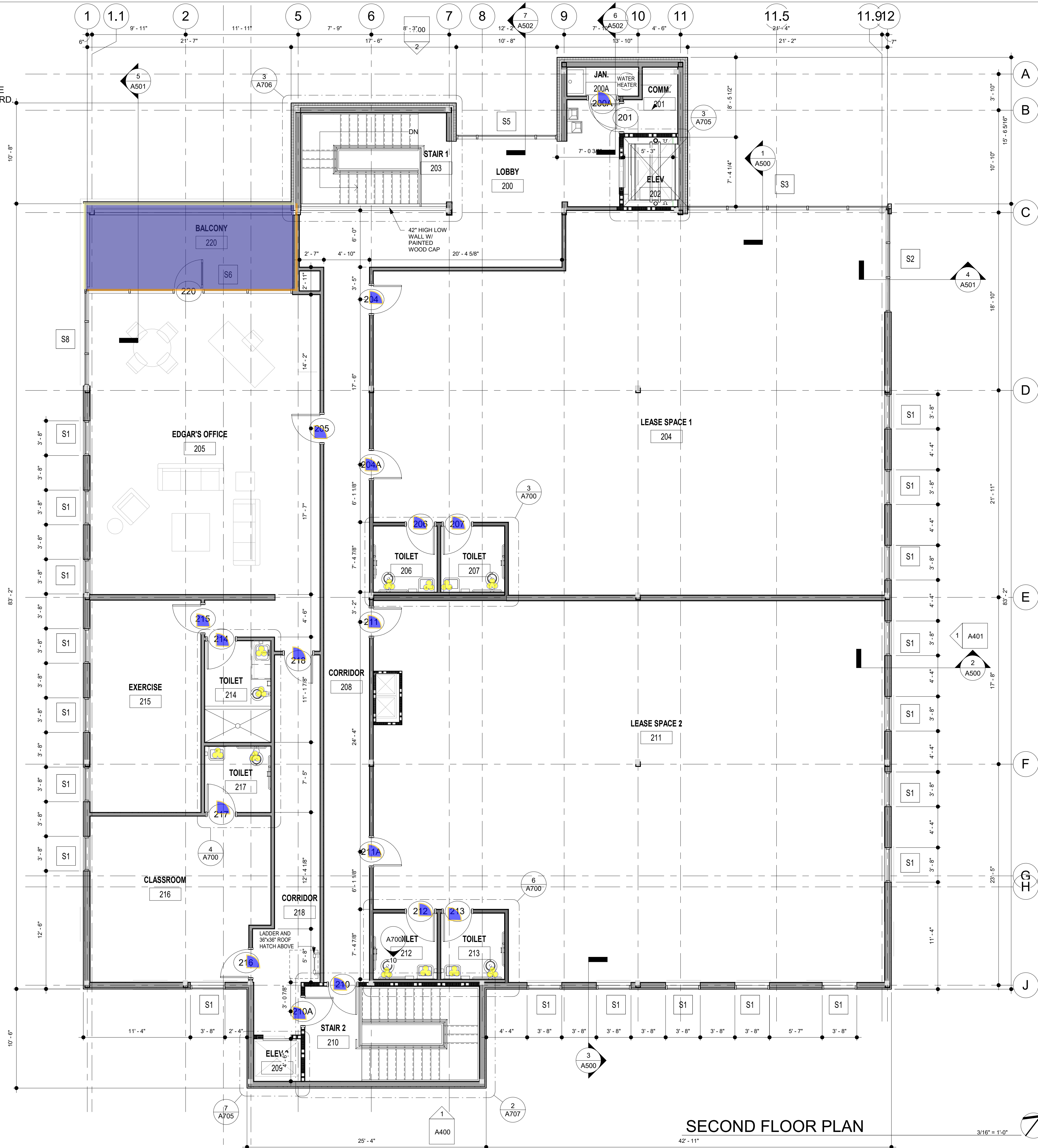
1. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS. BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
2. ALL OUTSIDE FACE OF EXTERIOR WALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK. ALL INSIDE FACE OF EXTERIOR WALL DIMENSIONS AND INTERIOR WALL DIMENSIONS ARE TO FACE OF GYP. BOARD.

EDGAR'S OFFICE	834 SF	TOILET	47 SF
EXERCISE	264 SF	TOILET	75 SF
LEASE SPACE 1	1,956 SF	TOILET	49 SF
STAIR 2	186 SF	CLASSROOM	322 SF
ELEV 2	23 SF	CORRIDOR	208 SF
ELEV	42 SF	COMM.	33 SF
LOBBY	321 SF	STAIR 1	160 SF
CORRIDOR	365 SF	BALCONY	190 SF
TOILET	47 SF	JAN.	23 SF
TOILET	47 SF	LEASE SPACE 2	2,061 SF
TOILET	47 SF	TOTAL	7,301 SF

LEGEND

- INTERIOR PARTITION - 3 5/8" METAL STUDS W/ GYP BD. ON ONE SIDE. STUDS & GYP BD. SHALL EXTEND 6" ABOVE LAY-IN CEILINGS.
- TYPICAL INTERIOR PARTITION - 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" GYP BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND 4" ABOVE LAY-IN CEILINGS OR TO DECK IF NO CEILING.
- INTERIOR PARTITION - 6" METAL STUDS @ 16" O.C. W/ 5/8" GYP BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND 6" ABOVE LAY-IN CEILINGS OR TO DECK IF NO CEILING.
- RATED PARTITION - 6" METAL STUDS @ 16" O.C. W/ 5/8" GYP BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND TO ROOF DECK. SEAL ALL PENETRATIONS.
- RATED PARTITION - 3 5/8" METAL STUDS @ 16" O.C. W/ 5/8" TYPE X GYP. BD. ON BOTH SIDES. STUDS & GYP BD. SHALL EXTEND TO ROOF DECK. SEAL ALL PENETRATIONS.
- RATED SHAFT WALL
- 4" VAULT WALL TO BE PROVIDED BY OTHERS

Subject	Length-FT	Area - Single	Area 1	CJ Length
Balcony waterproofing cants at inside corner - LF	31	0	0	0
Balcony waterproofing Edge flashing - LF	31	0	0	0
Caulking at Interior Door Frame to wall Joints - EA	0	0	0	578
Sealant at Plumbing Fixtures - EA	0	0	0	0
Waterproofing at Balcony (Schuter Bara Sysytem) - Area	63	0	203	0



SECOND FLOOR PLAN

THOMPSONARCHITECTURE
INCORPORATED

2913 Cahaba Road, Birmingham, AL 35223
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11-12-20
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CONSTRUCTION**

NEW MEDICAL OFFICE
FOR
DR. ILLESCAS
HOOVER, ALABAMA

Project #: 20013

REVISIONS		
NO.	DATE	DESCRIPTION

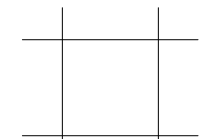
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PLAN**

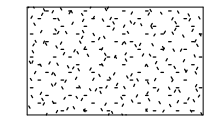
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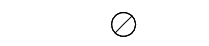
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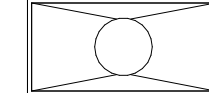
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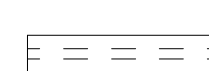
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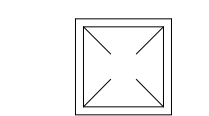
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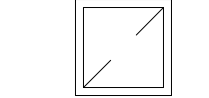
2x2 ACOUSTICAL LAY-IN CEILING
- 

GYP. BOARD CEILING ON METAL STUD FRAMING
- 

RECESSED CAN LIGHT FIXTURE
- 

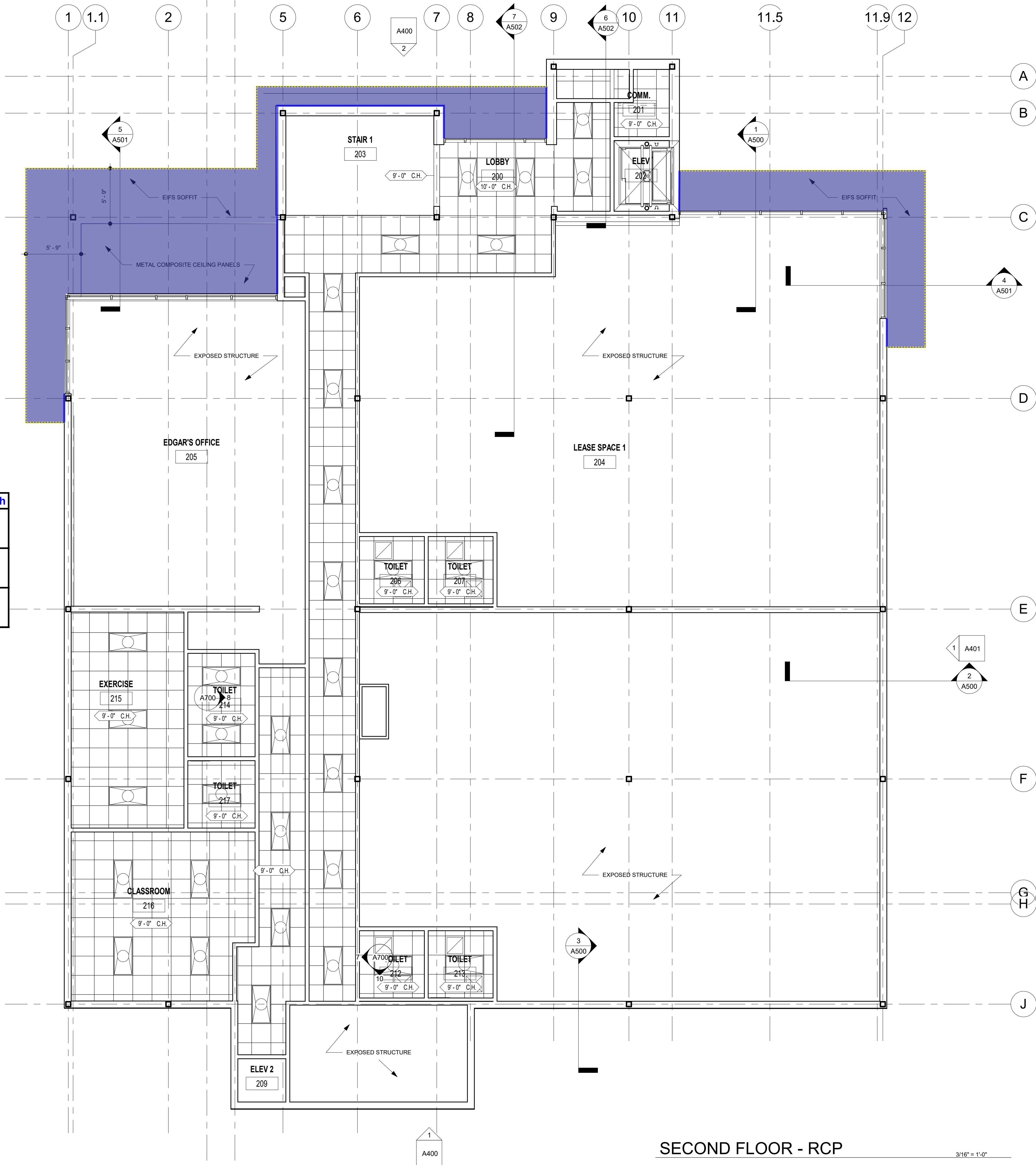
2x4 LAY-IN LIGHT FIXTURE
- 

4" SURFACE MOUNT STRIP LIGHT
- 

HVAC SUPPLY REGISTER
- 

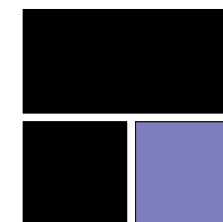
HVAC RETURN AIR GRILLE

	Subject	Length-FT	Area - Single	Area 1	CJ Length
	Air and vapor barrier at soffit - Area	328	0	667	0
	Sealant at exterior veneer -to- exterior soffit joints - LF	55	0	0	0
	Transition membrane Flashing at corners of the exterior wall - LF	141	0	0	0



SECOND FLOOR - RCP

3/16" = 1'-0"



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NO.	DATE	DESCRIPTION

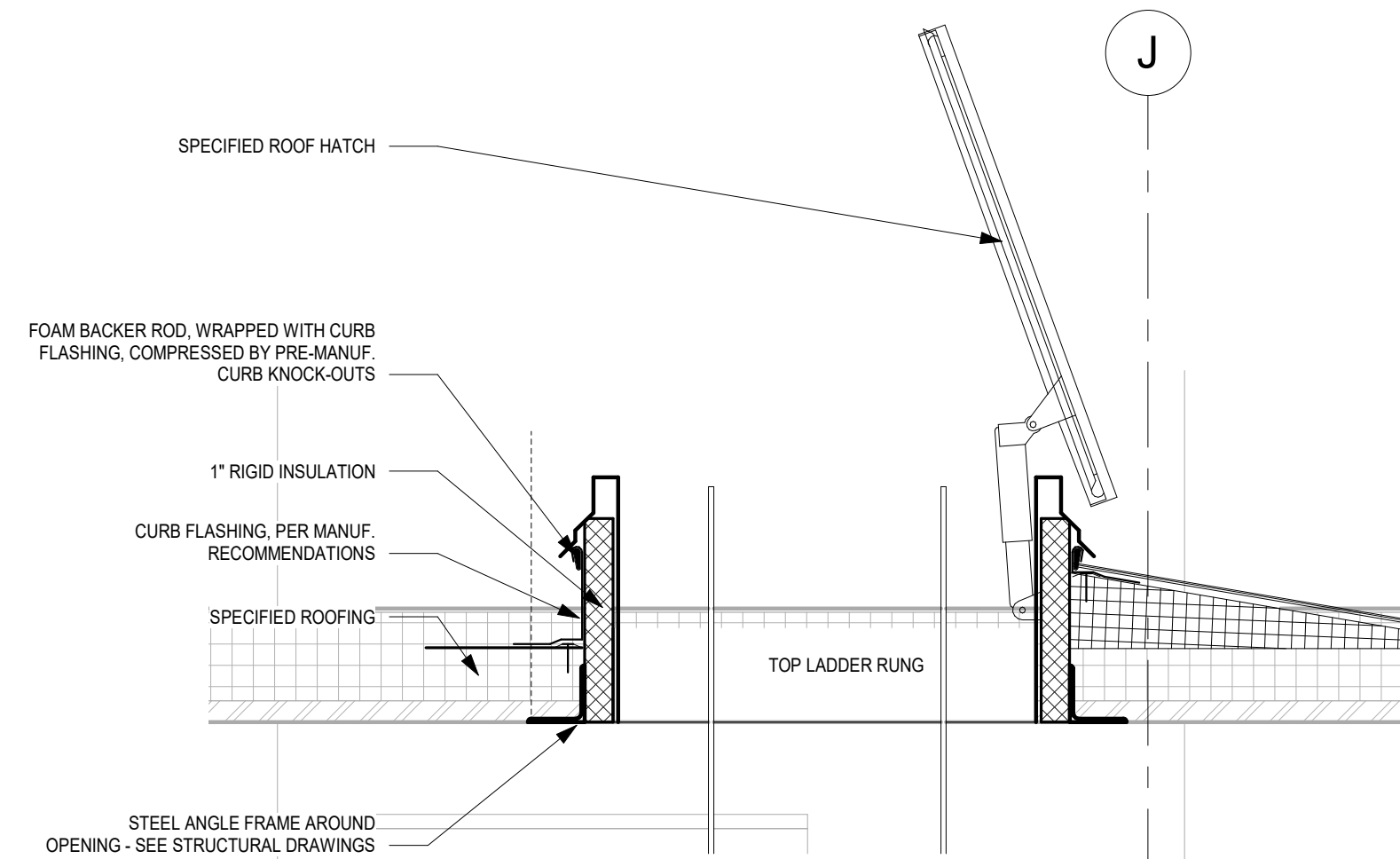
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**SECOND FLOOR
PLAN - RCP**

Scale **As indicated**

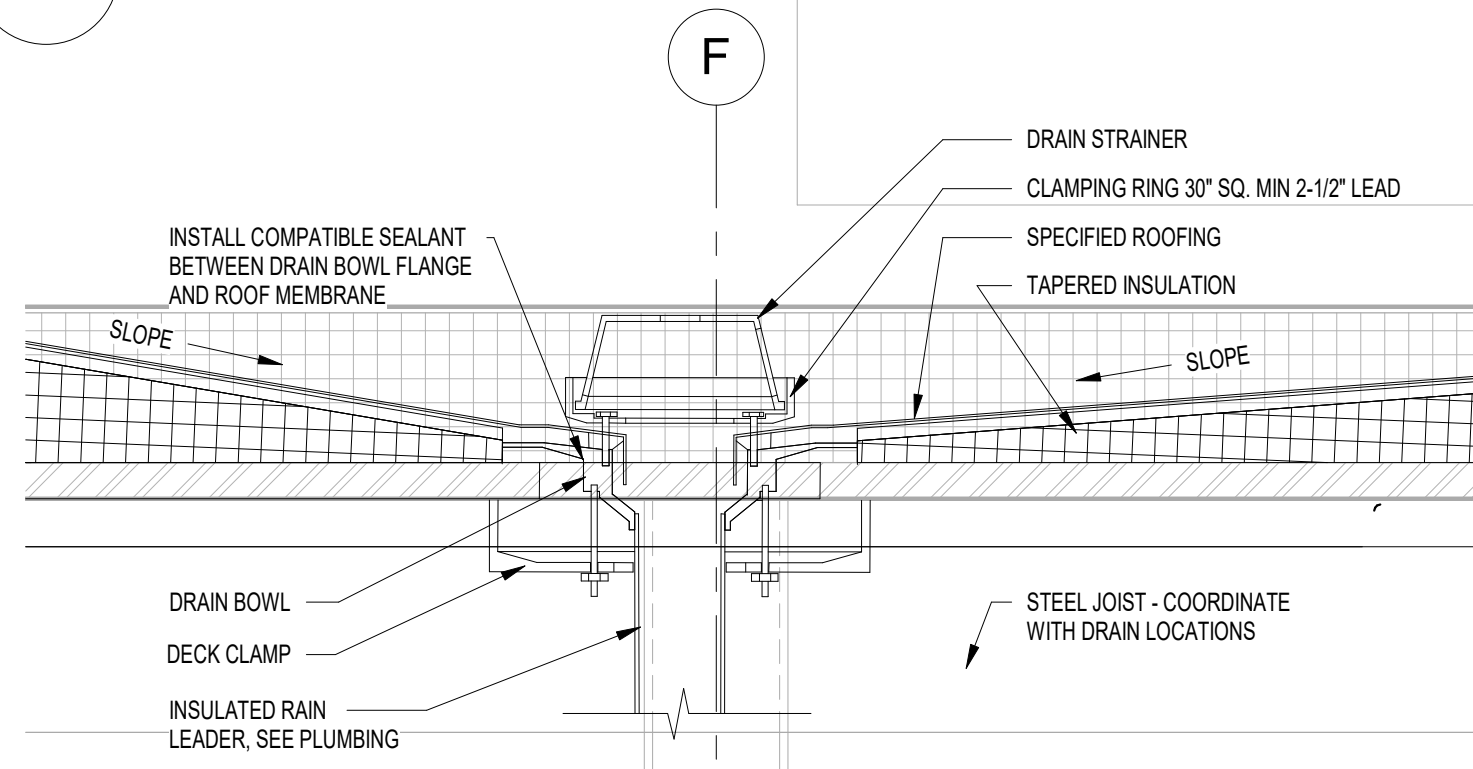
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Checked By **RT**

A204

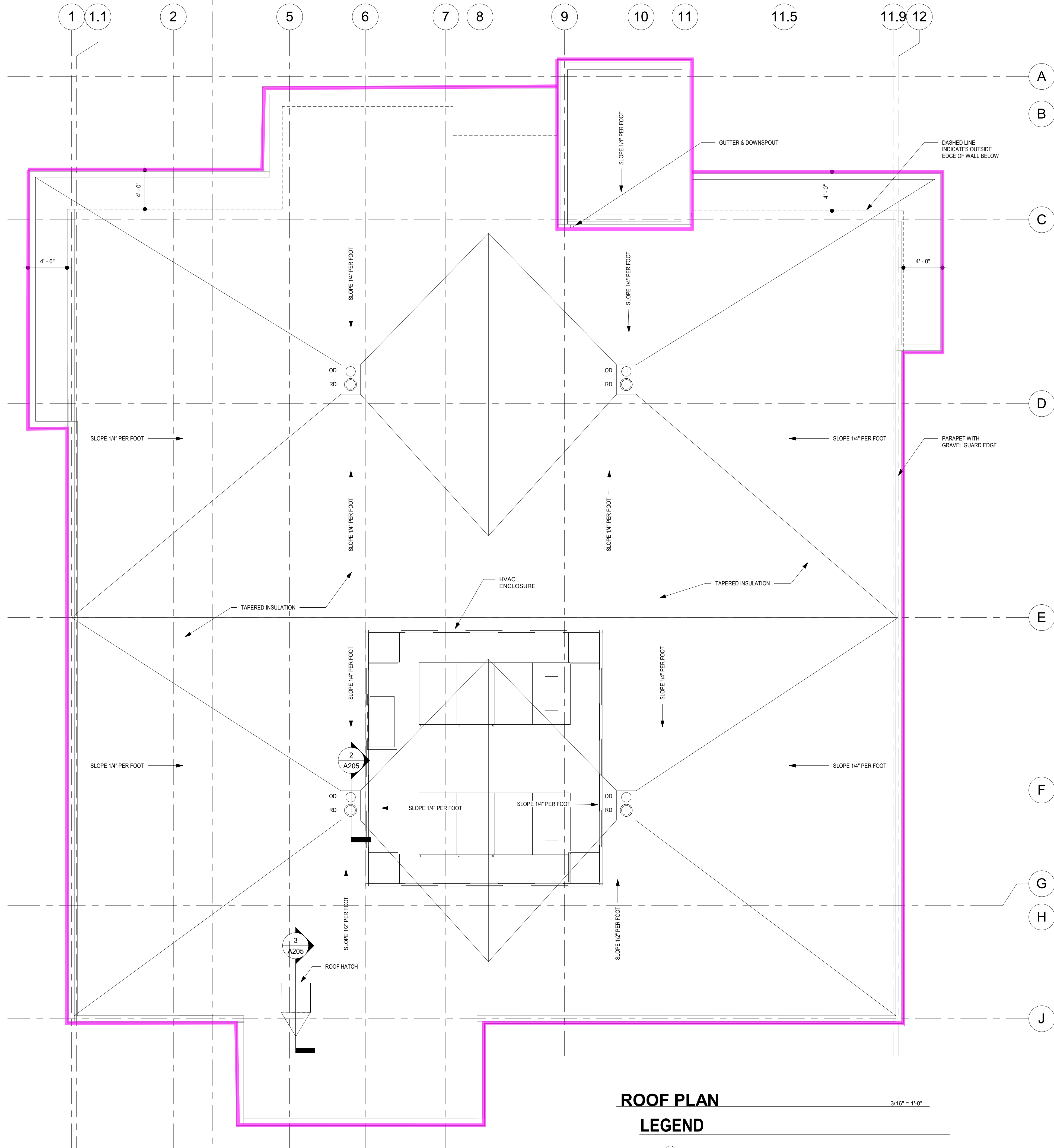
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	Sealant at exterior parapet cap -to- exterior veneer joints - LF	439	0	0	0



3 ROOF HATCH DETAIL



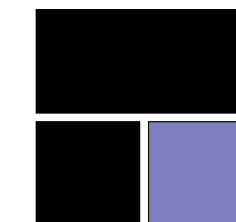
2 ROOF DRAIN DETAIL



ROOF PLAN

LEGEND

- OD ○ OVERFLOW DRAIN, SEE PLUMBING DRAWINGS
RD ○ ROOF DRAIN, SEE PLUMBING DRAWINGS



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CONSTRUCTION

NEW MEDICAL OFFICE
FOR
DR. ILLESCAS
HOOVER, ALABAMA

Project #: 20013

REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Name
ROOF PLAN

Scale As indicated

Drawn By EC
Checked By RT

A205

PRICING SET:
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NEW MEDICAL OFFICE
FOR
DR. ILLESCAS
HOOVER, ALABAMA

Project #: 20013

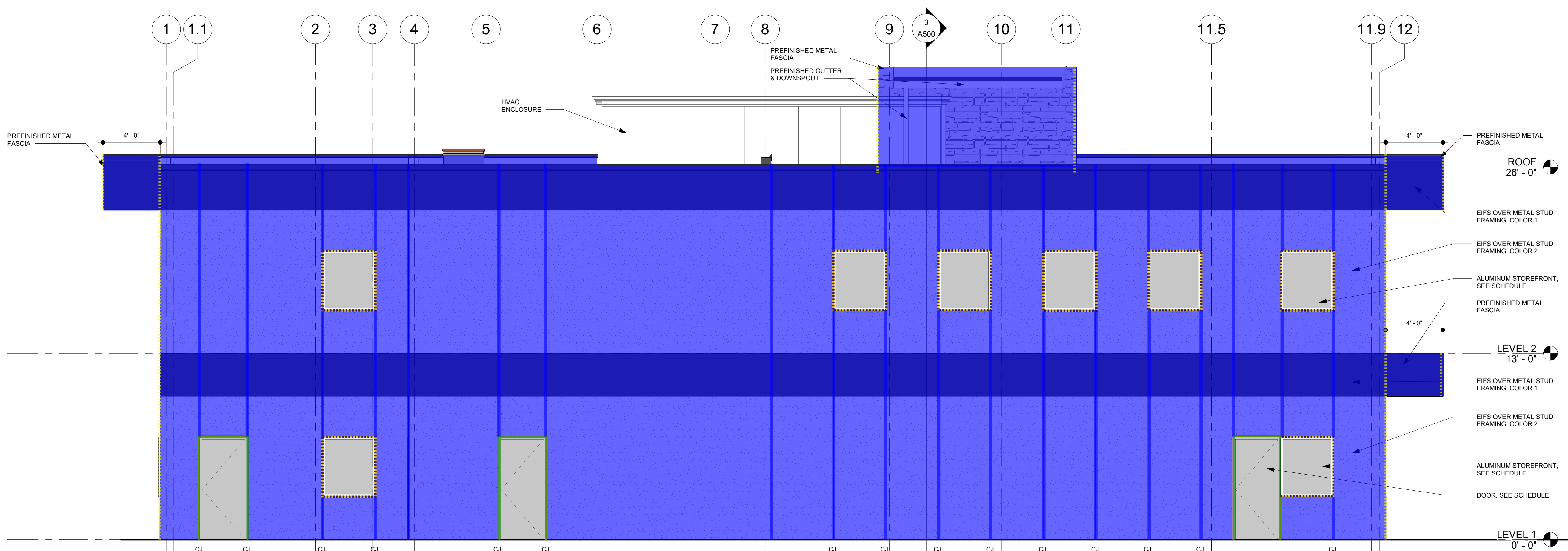
REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Name
ELEVATIONS

Scale **1/4" = 1'-0"**

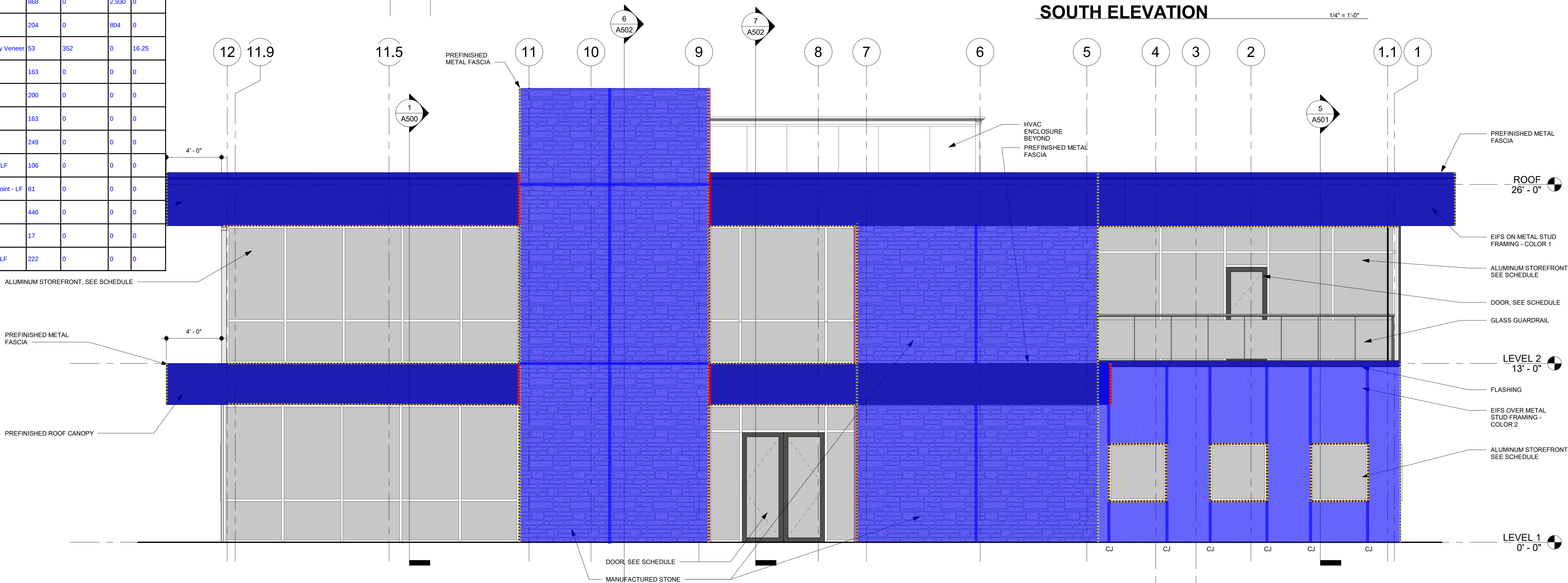
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Checked By RT

A400



SOUTH ELEVATION

1/4" = 1'-0"

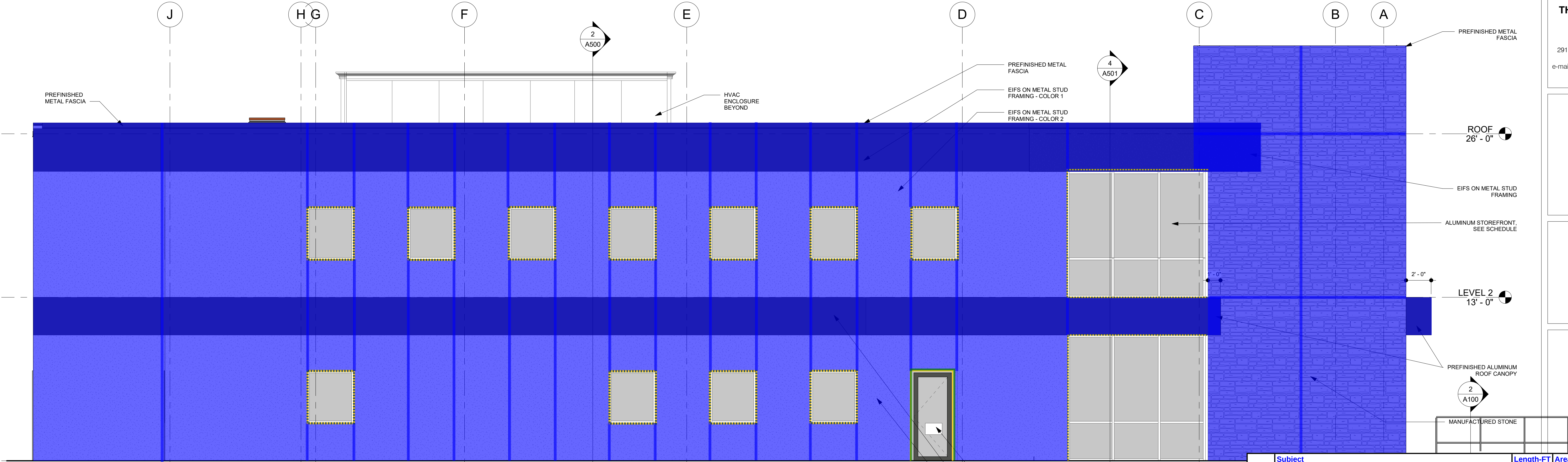


NORTH ELEVATION

1/4" = 1'-0"

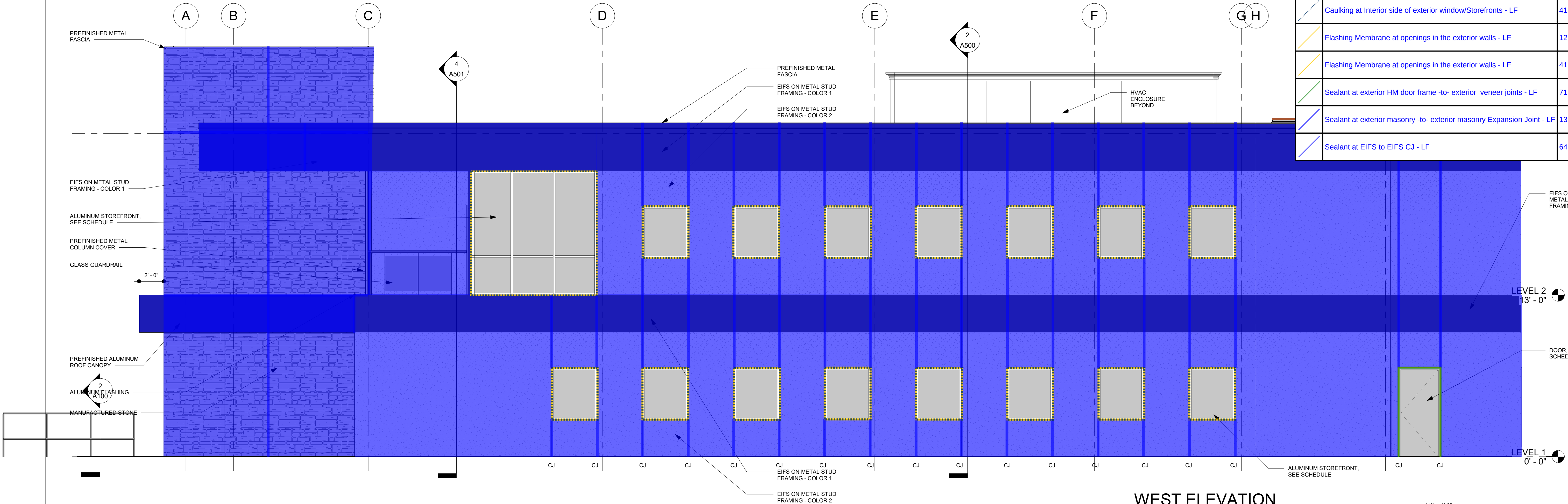
Subject	Length-FT	Area - Single	Area 1	CJ Length
Air & Vapor barrier at ext Sheathing walls - Area @ EIFS	868	0	2,930	0
Air & Vapor barrier at ext Sheathing walls - Area @ Masonry	204	0	804	0
Air & Vapor Barrier @ Exterior Sheathing Wall - LF @ Masonry Veneer	53	352	0	16.25
Caulking at Interior side of exterior window/Storefronts - LF	163	0	0	0
Caulking at Interior side of exterior window/Storefronts - LF	200	0	0	0
Flashing Membrane at openings in the exterior walls - LF	163	0	0	0
Flashing Membrane at openings in the exterior walls - LF	249	0	0	0
Sealant at exterior HM door frame -to- exterior veneer joints - LF	106	0	0	0
Sealant at exterior masonry -to- exterior masonry Expansion Joint - LF	81	0	0	0
Sealant at EIFS to EIFS CJ - LF	446	0	0	0
Sealant at EIFS to Masonry Veneer CJ - LF	17	0	0	0
Transition membrane Flashing at corners of the exterior wall - LF	222	0	0	0

PRICING SET:
11-12-20
NOT FOR
CONSTRUCTION



EAST ELEVATION

Subject	Length-FT	Area - Single	Area 1	CJ Length
Air & Vapor barrier at ext Sheathing walls - Area @ EIFS	1,259	0	4,363	0
Air & Vapor barrier at ext Sheathing walls - Area @ Masonry	199	0	1,065	0
Caulking at Interior side of exterior window/Storefronts - LF	93	0	0	0
Caulking at Interior side of exterior window/Storefronts - LF	416	0	0	0
Flashing Membrane at openings in the exterior walls - LF	129	0	0	0
Flashing Membrane at openings in the exterior walls - LF	416	0	0	0
Sealant at exterior HM door frame -to- exterior veneer joints - LF	71	0	0	0
Sealant at exterior masonry -to- exterior masonry Expansion Joint - LF	131	0	0	0
Sealant at EIFS to EIFS CJ - LF	641	0	0	0



WEST ELEVATION

Project #: 20013

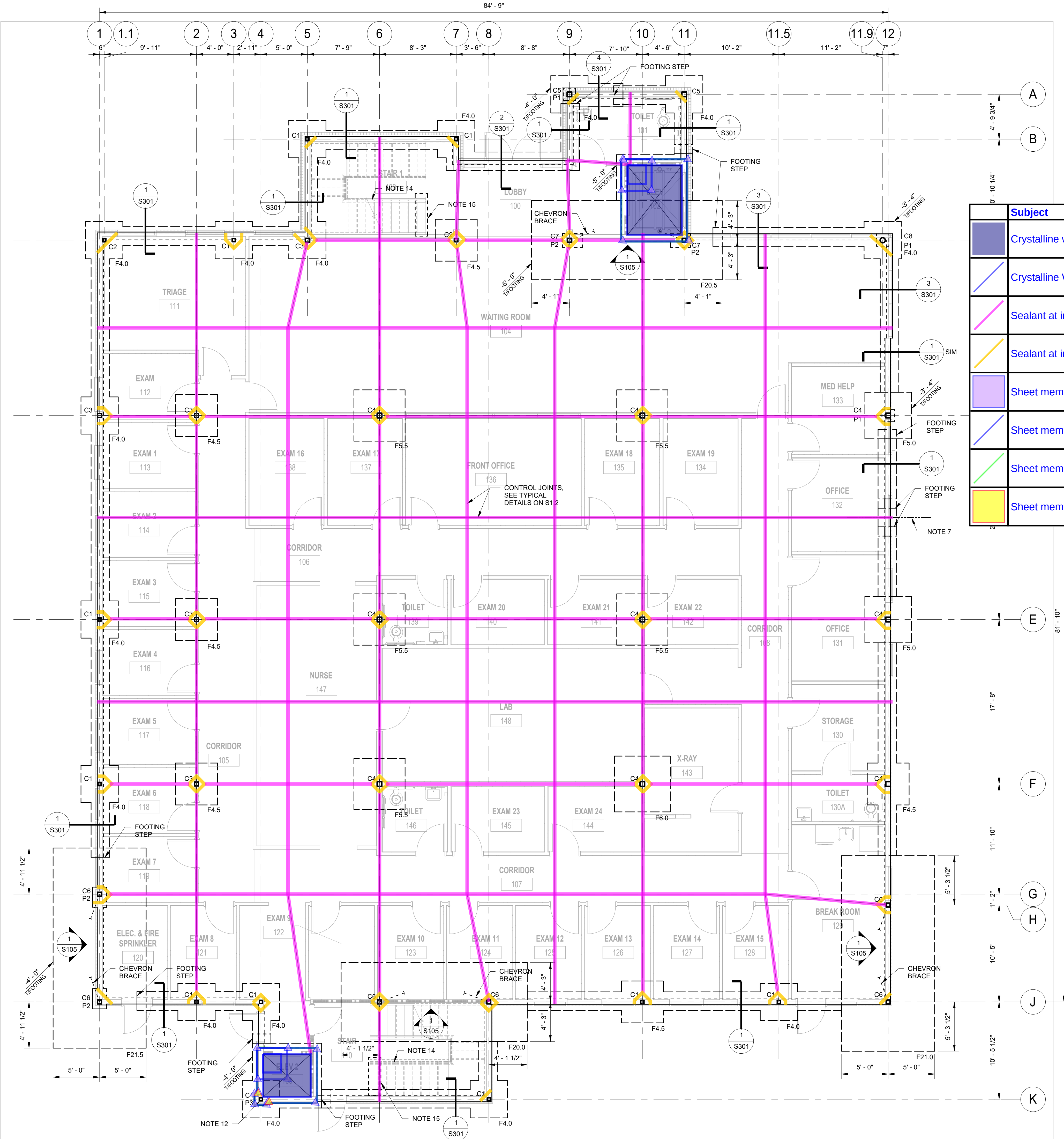
REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Name
ELEVATIONS

Scale 1/4" = 1'-0"

Drawn By EC
Checked By RT

A401



Subject	Length-FT	Area - Single	Area 1	CJ Length
Crystalline waterproofing at Elevator pit slab - Area	46	0	66	0
Crystalline Waterproofing at Elevator pit walls - LF	62	262	0	14
Sealant at interior slab -to- interior slab Control joints - LF	1,217	0	0	0
Sealant at interior slab -to- interior slab Isolation Joints - LF	145	0	0	0
Sheet membrane waterproofing - Vertical Detail strip at corner - EA	0	0	0	74
Sheet membrane waterproofing at below grade walls - LF	84	396	0	16
Sheet membrane waterproofing detail strip+ cants + termination bar - LF	58	0	0	0
Sheet membrane waterproofing vertical cants at inside corners - EA	0	0	0	10



FOUNDATION AND FIRST FLOOR PLAN

- 3/16" = 1'-0"
- FINISH FLOOR (TOP OF SLAB) REFERENCE ELEVATION 0'-0", UNLESS NOTED.
 - TOP OF FOOTINGS - 2'-0" BELOW FINISH FLOOR, UNLESS NOTED.
 - FOR GENERAL NOTES SEE SHEET S100 & S101.
 - FOR SLAB ON GRADE CONSTRUCTION, SEE GENERAL NOTES AND TYPICAL DETAILS.
 - FOR SLAB ON GRADE RECESS SIZE AND LOCATION, SEE ARCHITECTURAL DRAWINGS. SEE DETAIL ON S102 FOR FLOOR DEPRESSION.
 - CONTRACTOR SHALL COORDINATE TILE JOINT LOCATIONS WITH CONTROL JOINTS.
 - FOOTING STEP LOCATIONS SHOWN ARE APPROXIMATE. GENERAL CONTRACTOR COORDINATE LOCATION OF ALL FOOTING STEPS WITH THE LATEST CIVIL, PLUMBING AND UTILITY DRAWINGS. ALL CIVIL AND PLUMBING LINES TO CROSS FOOTINGS ABOVE THE FOOTING, STEP FOOTINGS AS REQUIRED, SEE TYPICAL DETAILS ON SHEET S102.
 - "C" INDICATES COLUMN, SEE COLUMN SCHEDULE ON SHEET S105 FOR COLUMN INFORMATION.
 - "F" INDICATES FOOTING, SEE FOOTING SCHEDULE ON SHEET S105 FOR FOOTING INFORMATION.
 - FOR ADDITIONAL DIMENSIONS, SEE ARCHITECTURAL DRAWINGS.
 - "P1" DENOTES 16x16 PEDESTAL REINFORCED WITH 8#5 VERTICALS AND #3 TIES AT 12". TOP OF PEDESTAL ELEVATION -0'-8".
 - "P2" DENOTES 26x18 PEDESTAL REINFORCED WITH 12#6 VERTICALS AND #3 TIES AT 12". TOP OF PEDESTAL ELEVATION -0'-8".
 - "P3" DENOTES 16x16 PEDESTAL (NOTCHED FOR ELEVATOR) REINFORCED WITH 8#5 VERTICALS AND #3 TIES AT 12". TOP OF PEDESTAL ELEVATION -0'-8".
 - NOTCH BASE PLATE AT CORNER OF ELEVATOR AND OMIT ANCHOR ROD AT NOTCHED CORNER.
 - CONTRACTOR COORDINATE SLAB EDGE DIMENSIONS WITH ARCH. DRAWINGS PRIOR TO PLACING CONCRETE.
 - STEEL PAN STAIRS TO BE DESIGNED BY THE STEEL FABRICATOR, TYPICAL. SEE GENERAL NOTES. PROVIDE 3'-0"x3'-0"x1'-0" THICKENED SLAB REINFORCED WITH 3/4" BARS EACH WAY IN BOTTOM AT STAIR COLUMNS, COORDINATE WITH FABRICATOR.
 - PROVIDE THICKENED SLAB ON GRADE AT STAIR STRINGER BASE FOR CONNECTION TO SLAB. SEE TYPICAL DETAILS ON S1.2.
 - CONNECTION DESIGN BY STAIR MANUFACTURER.
 - DETAILS SHOWN ARE TYPICAL FOR THE ENTIRE DRAWINGS.
 - #4@18 6'-0" IN TOP OF SLAB AT DOOR OPENINGS, TYPICAL.

NEW MEDICAL OFFICE
FOR
DR. ILLESCA
BIRMINGHAM, ALABAMA

Project #: 20013

REVISIONS		
NO.	DATE	DESCRIPTION

Drawing Name
FOUNDATION AND FIRST FLOOR PLAN

Scale 3/16" = 1'-0"

Drawn By SPH
Checked By CMJ

S201